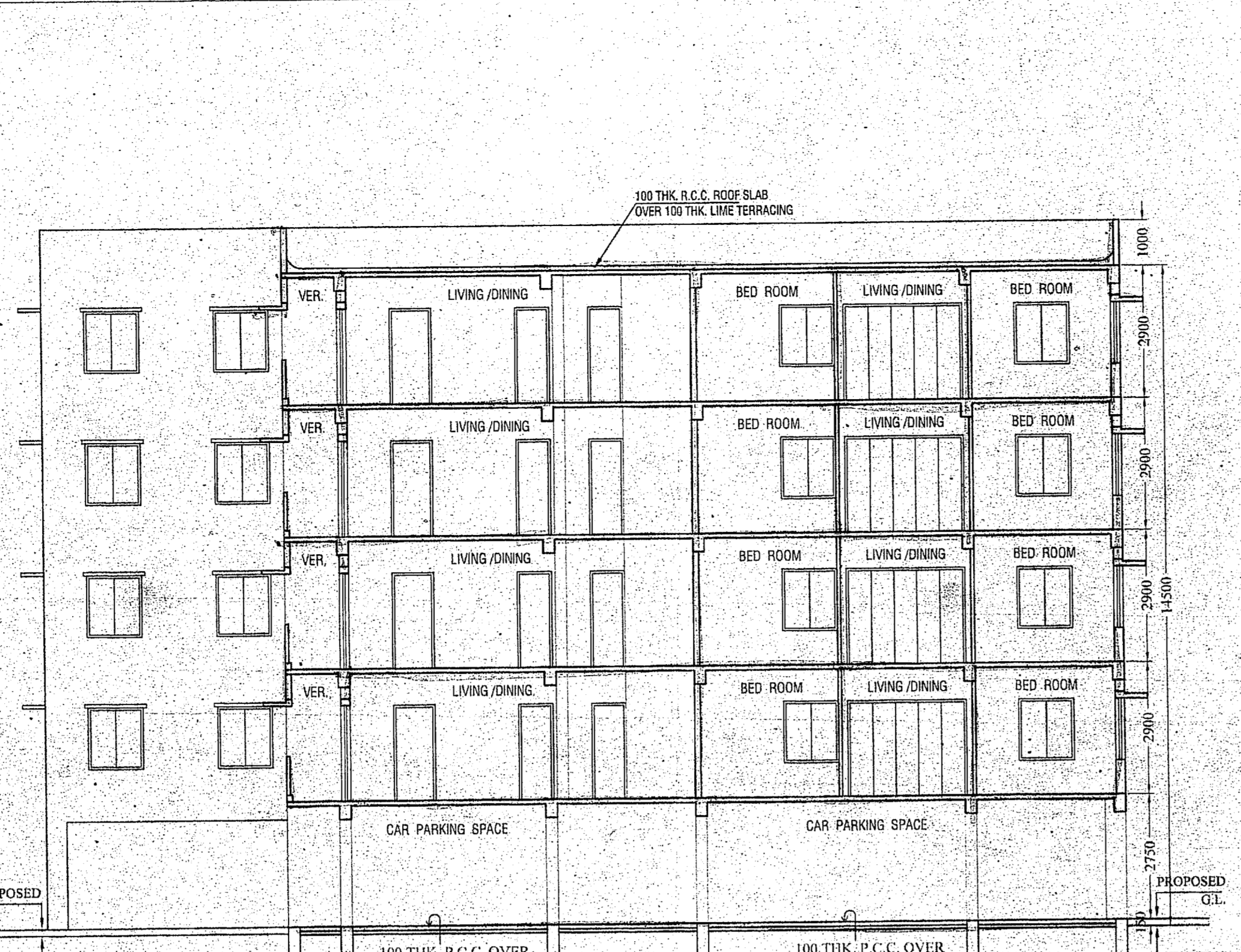
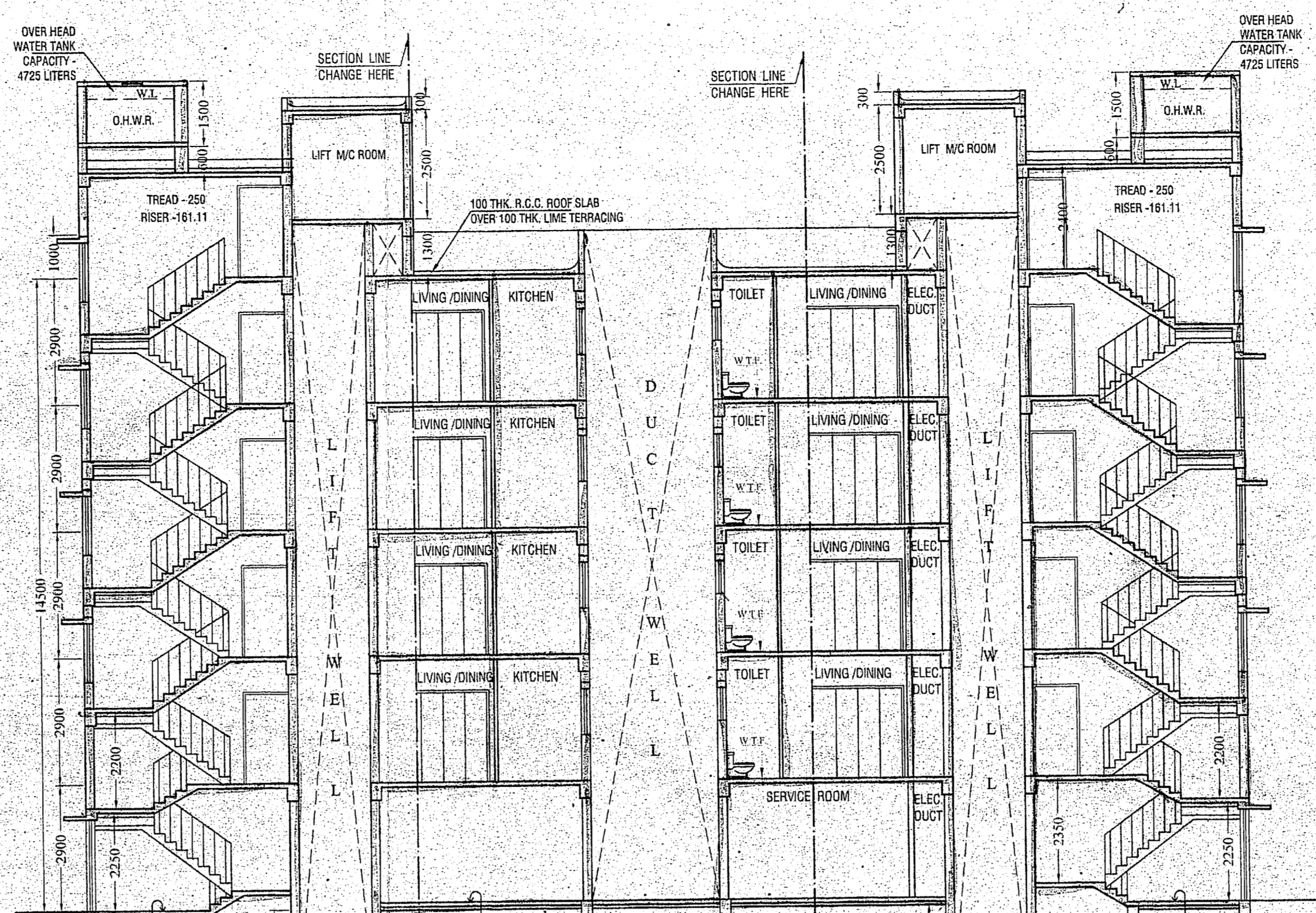


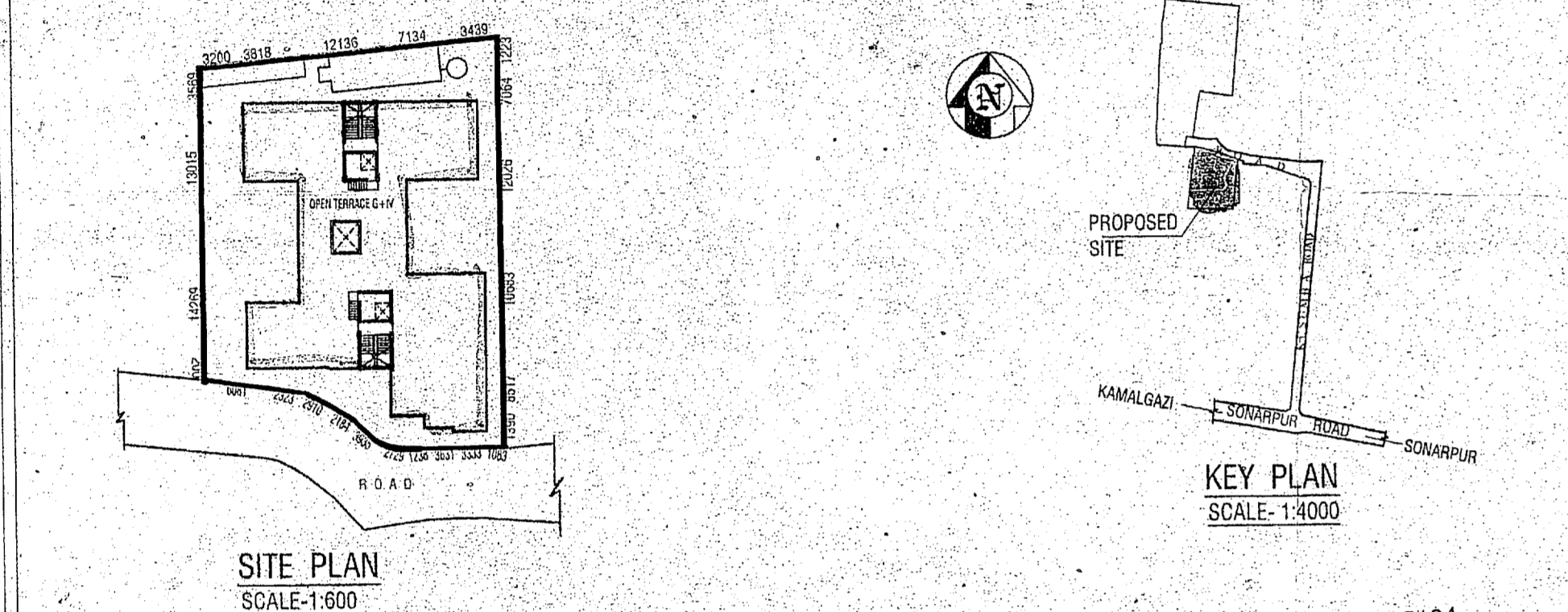
FRONT ELEVATION



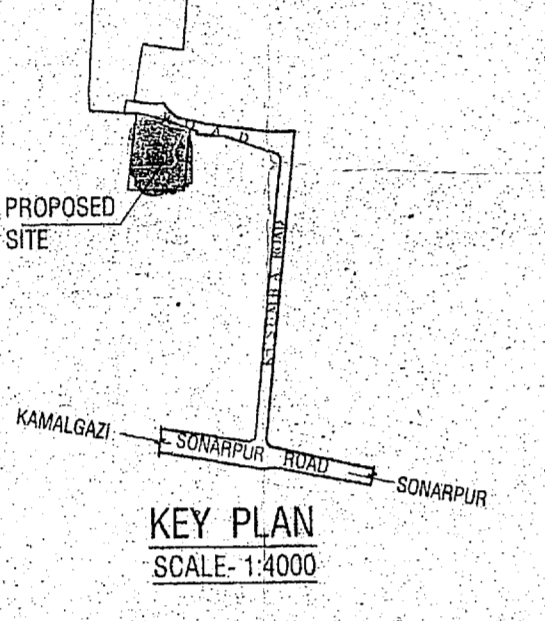
SECTION ON A - A



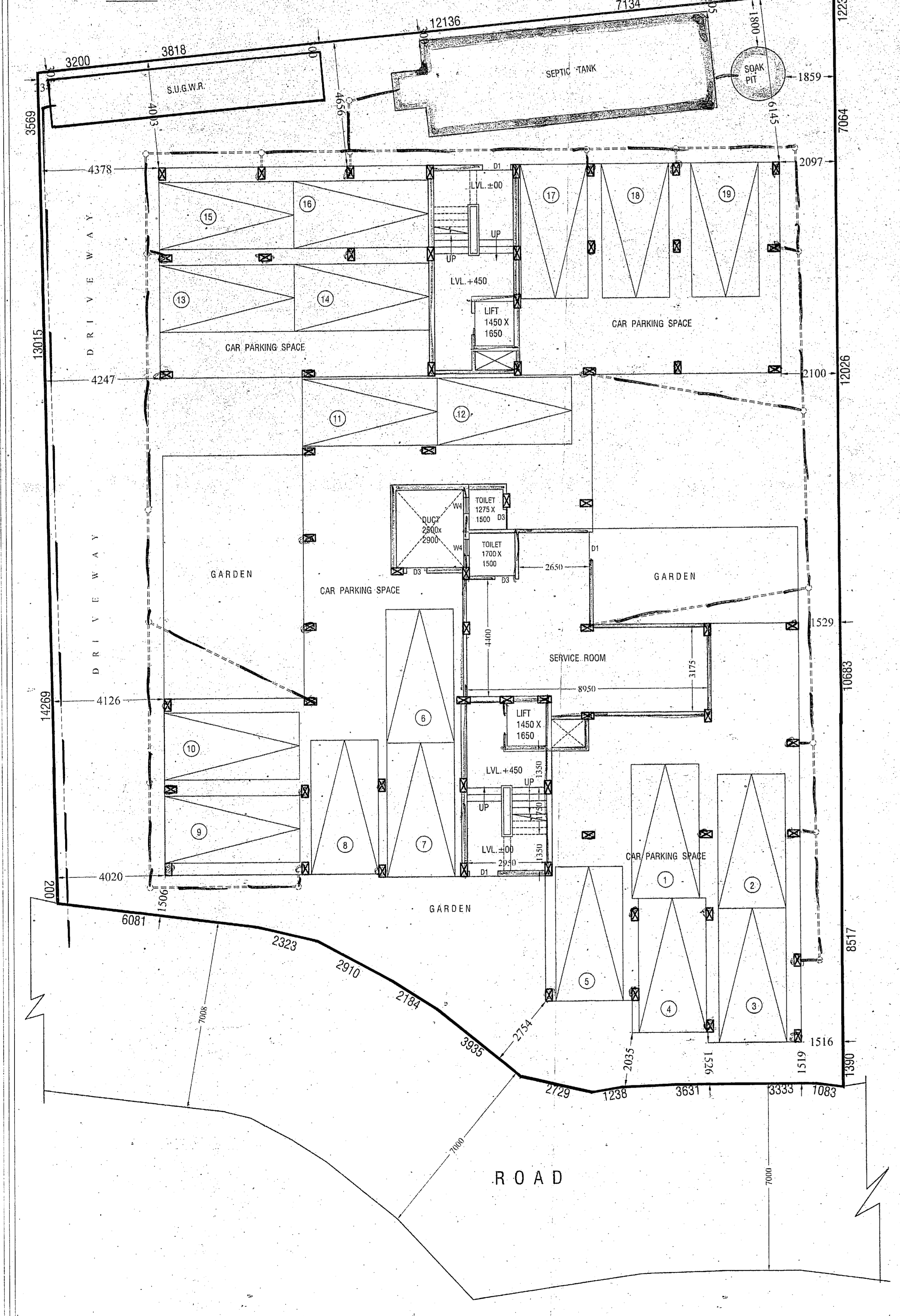
SECTION ON B - B



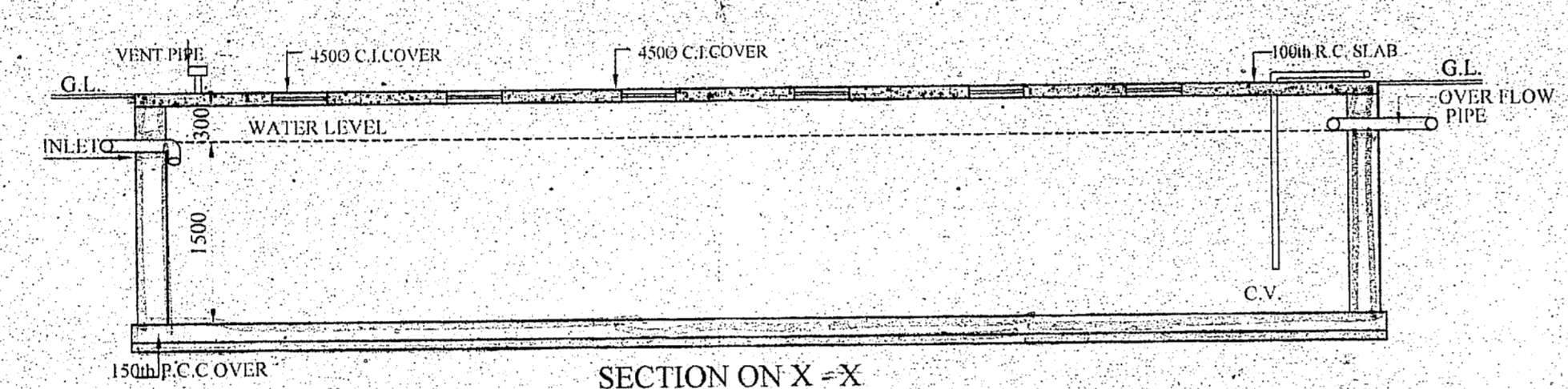
SITE PLAN



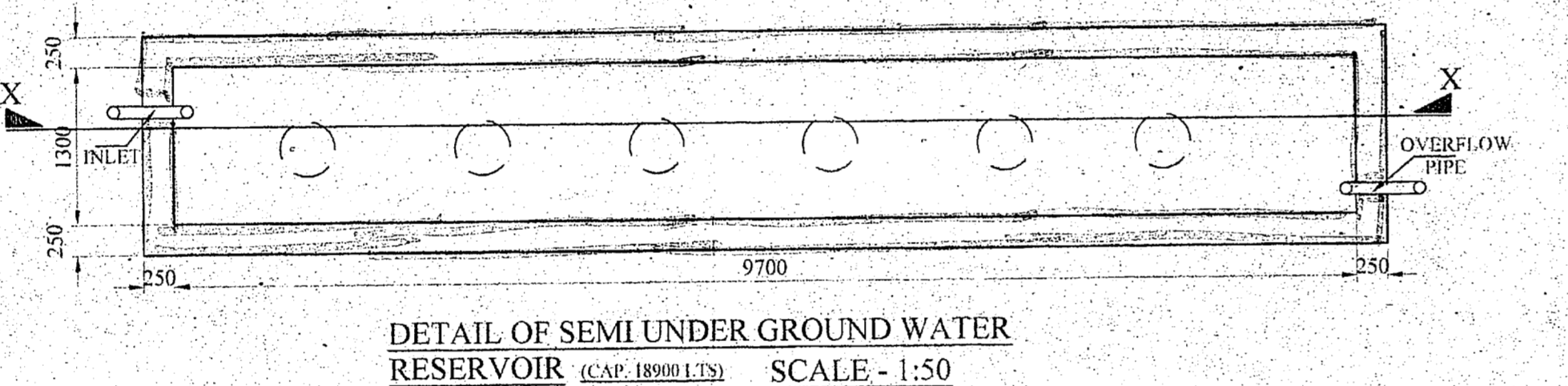
KEY PLAN



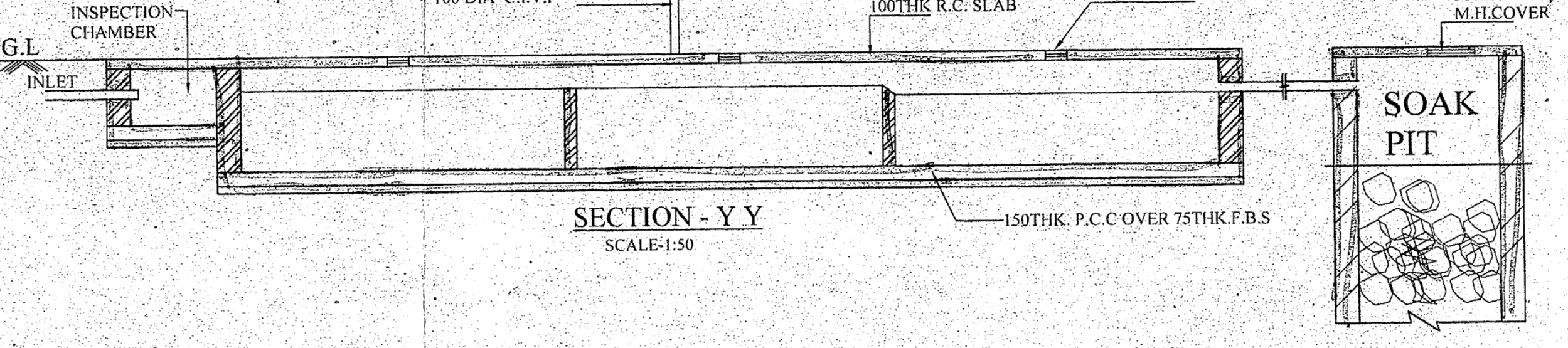
GROUND FLOOR PLAN



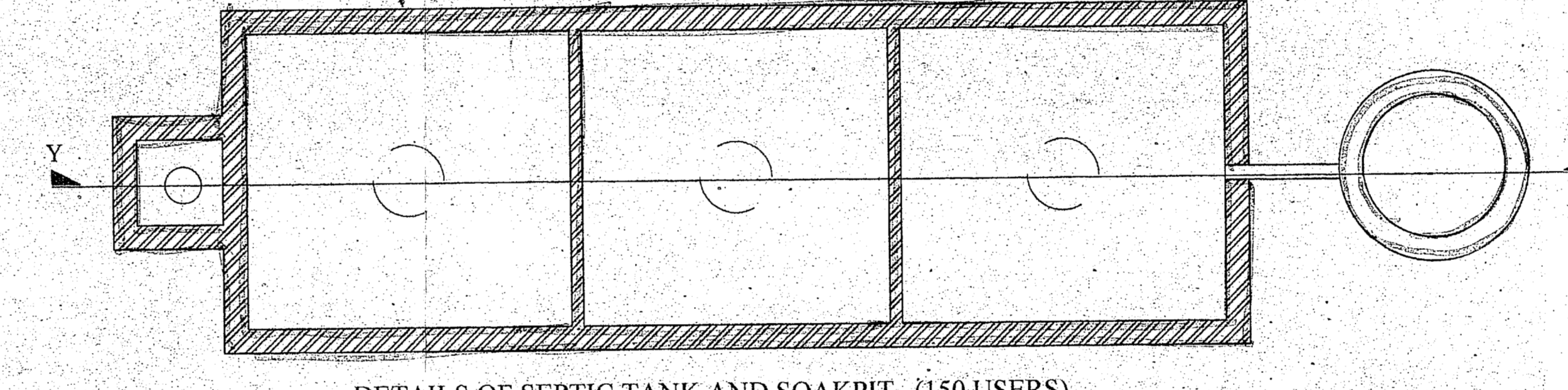
SECTION ON X - X



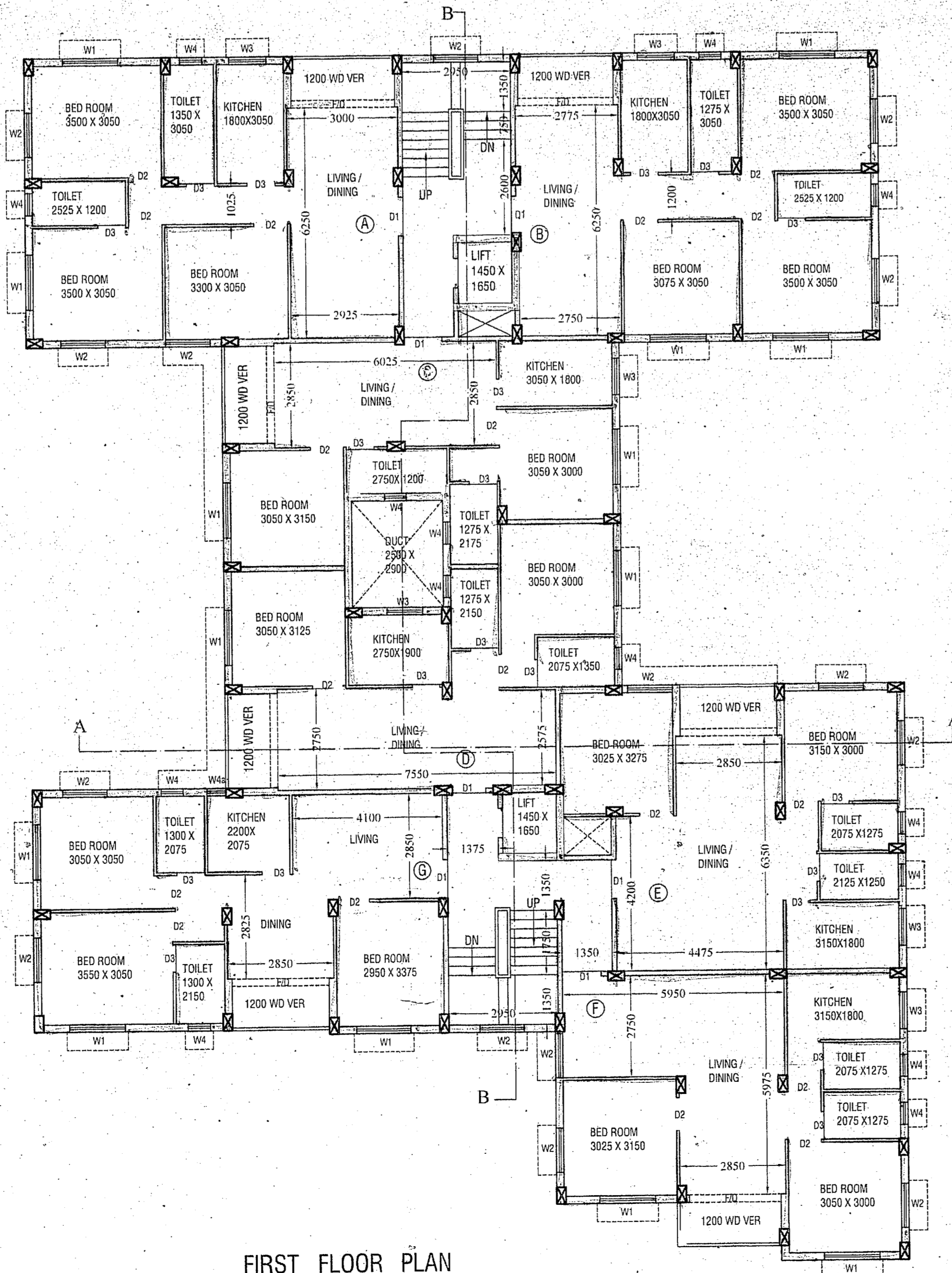
DETAIL OF SEMI UNDER GROUND WATER RESERVOIR (CAP.1000LTS) SCALE-1:50



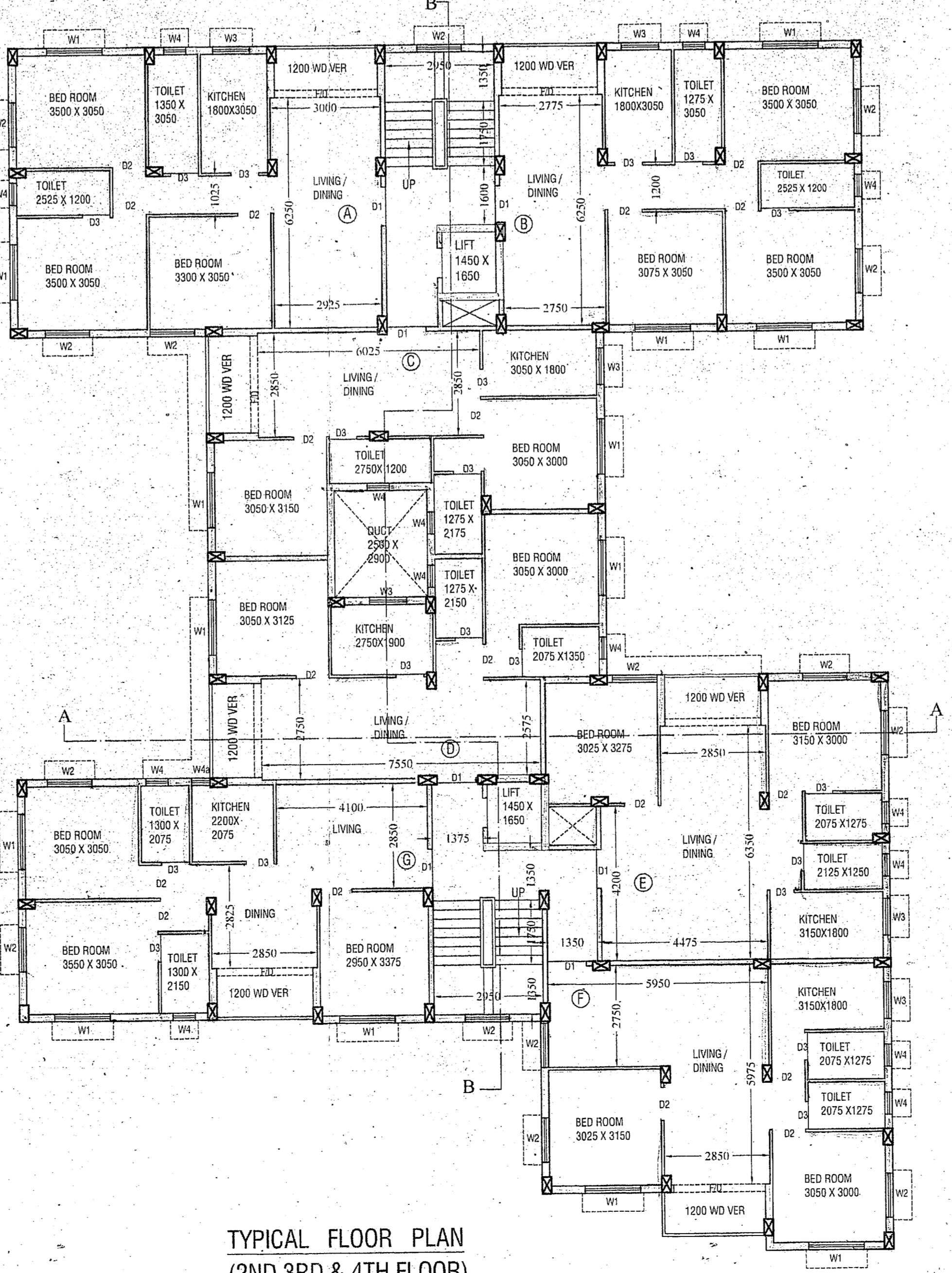
SECTION - Y - Y



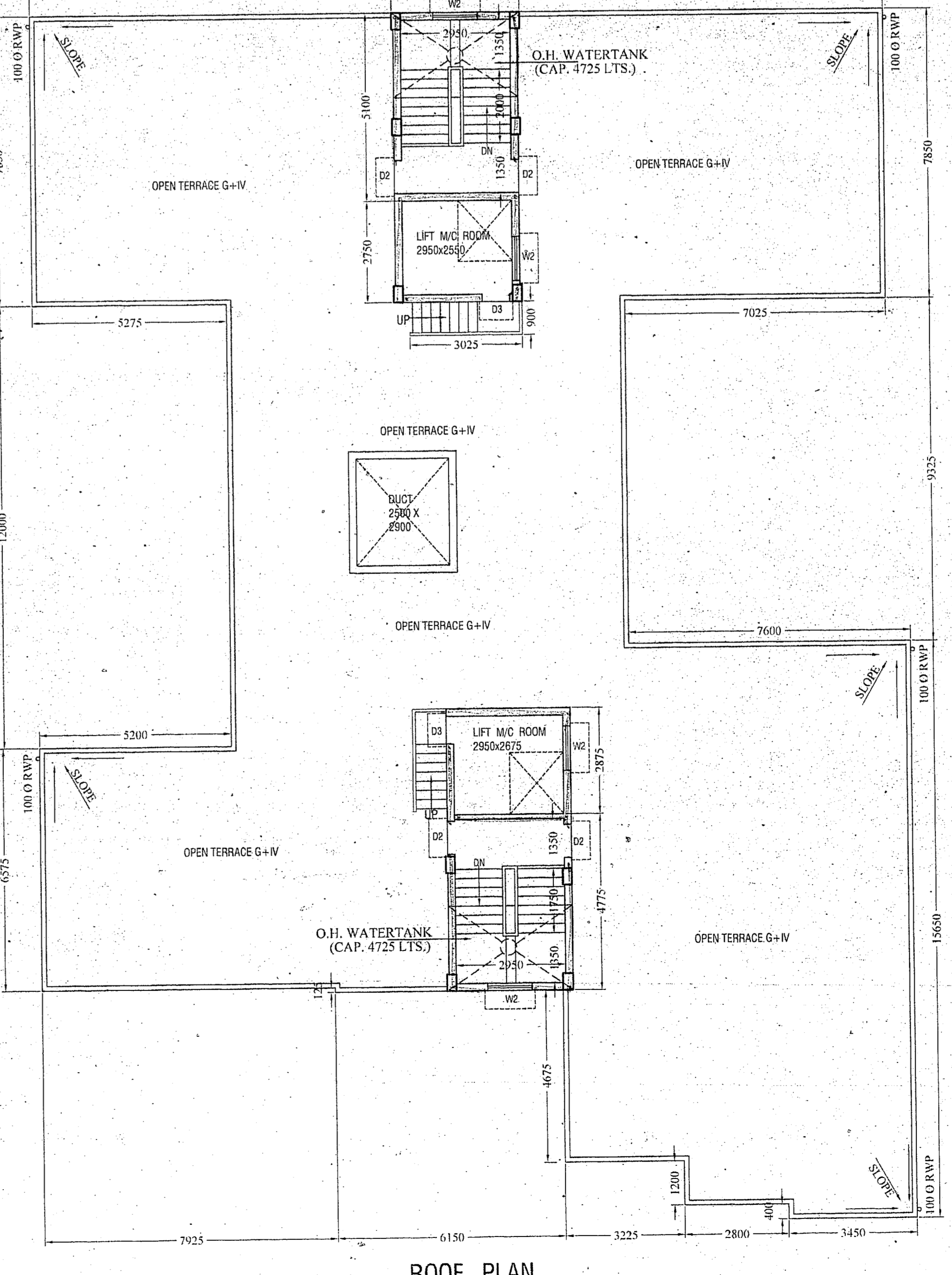
DETAILS OF SEPTIC TANK AND SOAKPIT (150 USERS) SCALE-1:50



FIRST FLOOR PLAN



TYPICAL FLOOR PLAN (2ND,3RD & 4TH FLOOR)



ROOF PLAN

AREA STATEMENT :-
 AREA OF LAND AS PER DEED = 1172.891 SQM (17K-8CH-25 SQFT.)
 AREA OF LAND AS PER PHYSICAL MEASUREMENT = 1068.94 SQM
 PERMISSIBLE GROUND COVERAGE = @50% OF LAND AREA = 534.47 SQM.
 PERMISSIBLE F.A.R. = 2.0
 PERMISSIBLE AREA AS PER F.A.R. = 2000 x 1068.94 SQM = 2137.88 SQM.
 PROPOSED GROUND COVERAGE :- 540.242 SQM - 7.25 SQM = 532.992 SQM

FL. MKD.	TOTAL FL. AREA IN SQM.	DUCT AREA IN SQM.	TOTAL FL. AREA EXCLUDING DUCT AREA IN SQM.	LIFT WELL IN SQM.	FLOOR AREA WITHIN LIFT WELL.	LIFT LOBBY	STAIR WELL	PROVIDED PARKING AREA	FLOOR AREA AFTER DEDUCTION
GR. FLOOR AREA.	340.242	NIL	340.242	NIL	540.242	4.33	NIL	430.916	2653.09 (22.69*107968+430.916) = 2653.09 - 561.534 = 2091.556 SQM
TYP. FLOOR AREA (1 ST TO 4TH)	540.242 x 4 = 2160.968	7.25 x 4 = 29	532.992 x 4 = 2131.968	2.362	528.213 x 4 = 2112.848	4.33 x 4 = 17.32	(13.869 x 11.17) x 4 = 246.074 = 107.968	430.916	2091.556 SQM
TOTAL AREA	2701.21	29.0	2672.21	19.12	2653.09	22.65	107.968	430.916	2091.556 SQM

CAR PARKING CALCULATION:

FL. MKD.	TENEMENT AREA AT EACH FLOOR (IN SQ.M.)	TOTAL TENEMENT AREA (IN SQ.M.)	PARKING REQ. (IN SQ.M.)
TYP. FLOOR AREA	484.062 x 4 = 1936.248	1936.248	600 / 150 = 4 NOS CAR = 1936.248 / 140 = 9.34 NOS CAR = 10 NOS CAR.
TOTAL AREA			TOTAL = 14 NOS CAR

REQUIRED NOS. OF CAR = 14 NOS
 REQUIRED PARKING AREA = 14 x 25 = 350 SQM
 PROVIDED NO. OF CARS = 19 NOS
 PROVIDED COVERED PARKING AREA = 430.916 SQM
 PROPOSED F.A.R. = 2091.556 SQM / 1068.94 SQM = 1.956
 PROPOSED SERVICE AREA = 50.766 SQM

DOOR & WINDOWS SCHEDULE

MRK.	SIZE	MRK.	SIZE
W1	1200X1500	D1	1000X1100
W2	1200X1350	D2	900X1200
W3	1000X1050	D3	750X1200
W4	600X750		

NOTES
 1. ALL DIMENSIONS ARE IN MM.
 2. ALL EXTERNAL WALLS ARE 200 TH AND INTERNAL WALLS ARE 75 TH IF NOT STATED OTHERWISE.
 3. SCALE - 1:100
 4. SAFE BEARING CAPACITY OF SOIL 7.5 T/SQ.M. ASSUMED
 5. DEPTH OF SEPTIC TANK AND SOAK PITS WATER RESERVOIR WILL NOT EXCEED THE DEPTH OF BUILDING FOUNDATION.
 6. ALL SORTS OF PRECAUTIONARY MEASURE WILL BE TAKEN AT THE

SPECIFICATION
 1. 75 TH. 1ST. CLASS BRICK SOLING IN FOUNDATION & FLOOR
 2. 150 TH. 1:3:6 (CEMENT:SAND & KHOA) CEMENT CONCRETE IN FOUNDATION & FLOOR
 3. FOUNDATION BRICK WORK WILL BE 1ST CLASS BRICK WITH 1:5 CEMENT MORTAR
 4. 125 TH. & 75 TH. PARTITION BRICK WORK WILL BE 1:5 CEMENT MORTAR
 5. 200 TH. EXTERNAL WALLS WILL BE 1:6 CEMENT MORTAR
 6. 25 TH. D.C.C. WILL BE 1:2:4 WITH PROPER WATER PROOFING COMPOUND
 7. R.C.C. CONC. MIX WILL BE 1:2:4 CEMENT SAND & STONE CHIPS MATERIALS AND MIXING
 8. ROOF AND LINE TERRACING WILL BE 100 TH. WITH THEIR PROPER CEILING AND ALL R.C. PLASTER WILL BE 1:2:4 CEMENT MORTAR
 10. 25 MM. TH. I.P.S. FLOORING
 11. GRADES OF CONCRETE M - 20
 12. ALL BUILDING MATERIALS WILL BE AS PER I.S. CODE & C.B.C. 1984

STRUCTURAL CERTIFICATE
 THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME. FOR NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

SUBIR C. SANYAL
 E.B.A. NO. 007
 UNDER RAJPUR SONARPUR MUNICIPALITY
 SIGNATURE OF STRUCTURAL ENGINEER (E.B.S. NO. 007)

DECLARATION OF E.B.A.
 I HAVE CERTIFIED ON THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT BUILDING RULES 1980 AS AMENDED FROM TIME TO TIME AND THAT THE SITE CONDITIONS INCLUDING THE ADJUTING ROAD CONFORM WITH THE PLAN AND THAT IT IS A BUILDABLE SITE AND NOT A TANK OR A FILLED UP LAND.

SUBIR C. SANYAL
 E.B.A. NO. 007
 UNDER RAJPUR SONARPUR MUNICIPALITY
 SIGNATURE OF E.B.A.

As Leadly Set & Control Attorney of
 Rajwada Group Partners
 1) Partner Approval
 2) Rajwada Approval

SUBIR C. SANYAL
 E.B.A. NO. 007
 UNDER RAJPUR SONARPUR MUNICIPALITY
 SIGNATURE OF E.B.A.

OWNER'S NAME : RAJWADA GROUP & OTHERS
 DRAWN - SAMPA
 DESIGNED -
 CHECKED -
 APPROVED -

Sanyalson Associates Consultant Pvt. Ltd.
 CONSULTANT PLANNING & STRUCTURAL ENGINEERS
 RAJWADA GROUP PARTNERS - KANINGO PARK - KOLKATA-84

DWG NO. :-
 SHEET CONTENT - GROUND FLOOR PLAN, TYPICAL FLOOR PLAN, ROOF PLAN, SECTIONS, ELEVATIONS, SEPTIC TANK, WATER RESERVOIR, SITE PLAN KEY PLAN & AREA STATEMENT

CHECKED & O.K.
 APPROVAL OF S.A.E.
 OFFICE USE ONLY
APPROVED
 Plan No. 828/2012/77 Date: 30/07/2012
 Valid Upto: 30/07/2018
 Rajwada Group Partners
 Chairman
 RAJWADA GROUP PARTNERS
 Dr. Parag Das
 Chairman
 RAJWADA GROUP PARTNERS
 MUNICIPALITY